



*Shivansh Park*  
@ DHAYARI

A Project by :



**MAULI DEVELOPERS**

# 1 BHK CUT VIEW



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# 1 RK CUT VIEW



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# TYPICAL FIRST, SECOND, THIRD, FOURTH & FIFTH FLOOR PLAN



## SALEABLE AREA IN SQ.FT.

FLAT NO	TYPE	TOTAL AREA
101, 201, 301, 401, 501	1 BHK	510.00
102, 202, 302, 402, 502	1 BHK	540.00
103, 203, 303, 403, 503	1 BHK	520.00
104, 204, 304, 404, 504	1 BHK	510.00
105, 205, 305, 405, 505	1 BHK	530.00
106, 206, 306, 406, 506	2 BHK	735.00

FLAT NO	TYPE	TOTAL AREA
107, 207, 307, 407, 507	1 RK	335.00
108, 208, 308, 408, 508	1 RK	335.00
109, 209, 309, 409, 509	1 RK	335.00
110, 210, 310, 410, 510	1 RK	335.00
111, 211, 311, 411, 511	1 BHK	500.00



# SPECIFICATION



## STRUCTURE & MASONRY

- Earthquake resistance R.C.C. frame Structure.
- External wall 6" bricks.
- Internal wall in 6" bricks.
- External wall sand faced plaster.
- Internal wall neeru finished.



## DOORS & WINDOWS

- Door Frames M.S. with flush doors and necessary fittings for all rooms including entrance door.
- M.S. Door frame with waterproof doors for bathroom & W.C.
- Two Track Powder coated Aluminium Sliding Windows.



## FLOORING

- Vitrified 24" X 24" Tile flooring with Skirting.
- Anti Skid Flooring for Bath & W.C.



## KITCHEN

- Granite top kitchen platform with
- Stainless steel sink.
- Glazed tile DADO of full height above.



## BATHROOM

- Glazed tile DADO upto full height in Bathroom & 4" height in W.C.
- Waterproofing treatment in Toilets & Balcony



## PLUMBING / SANITARY

- Internal concealed plumbing.
- White W.C. Pan, Wash Basin Hot & Cold Mixer point in each bathrooms with branded fittings.



## PARKING

- Common two parking



## ELECTRIFICATION

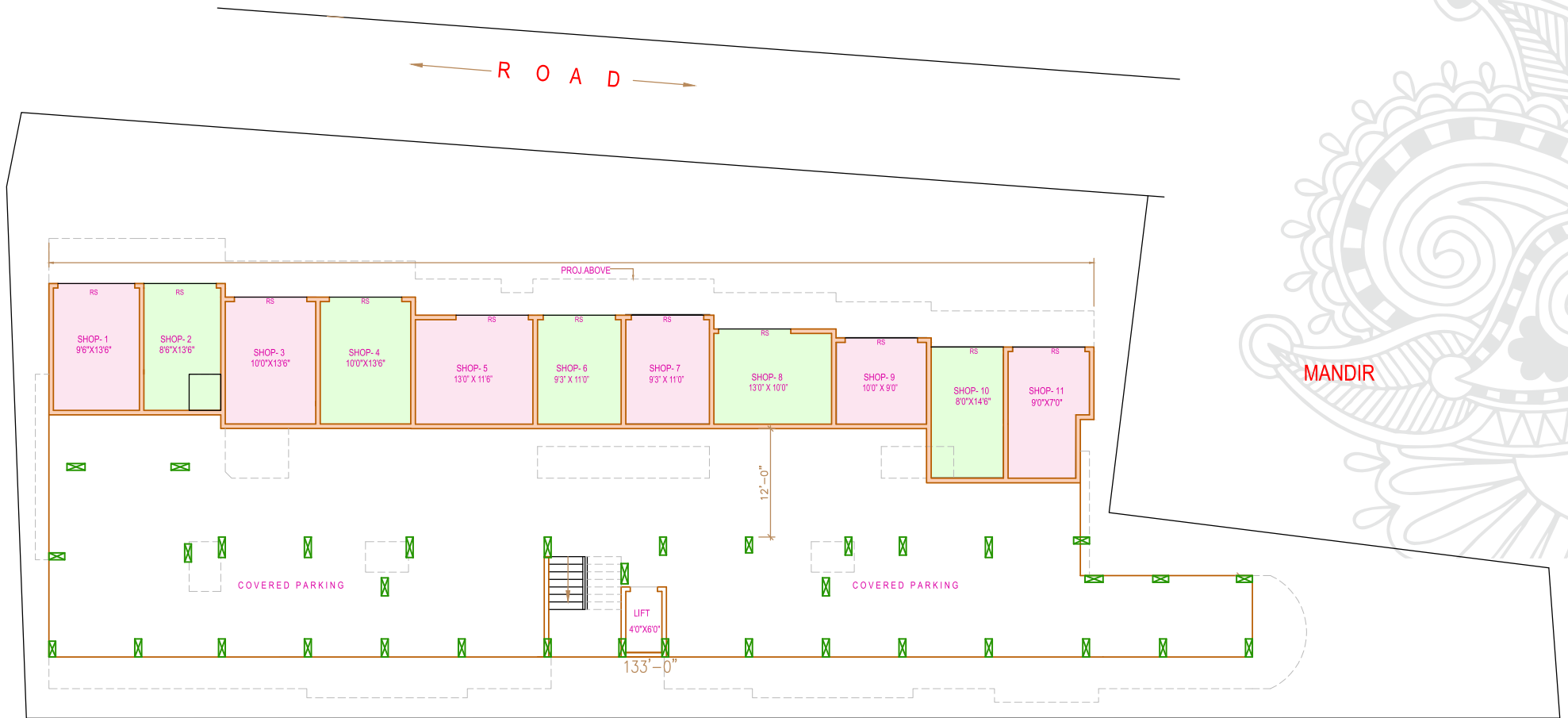
- Concealed wiring
- Adequate points in each room.
- Power point in kitchen and toilets.
- Provision of electrical exhaust fan in kitchen & toilets.



## PAINTING

- Internal wall with oil bond distemper.
- Outer walls with cement paint & Apex.
- Doors will be oil Painted.

# GROUND FLOOR PLAN



## SALEABLE AREA IN SQ.FT.

SHOP NO	TOTAL AREA
01	171
02	155
03	182
04	182
05	200
06	145

SHOP NO	TOTAL AREA
07	145
08	175
09	123
10	151
11	156

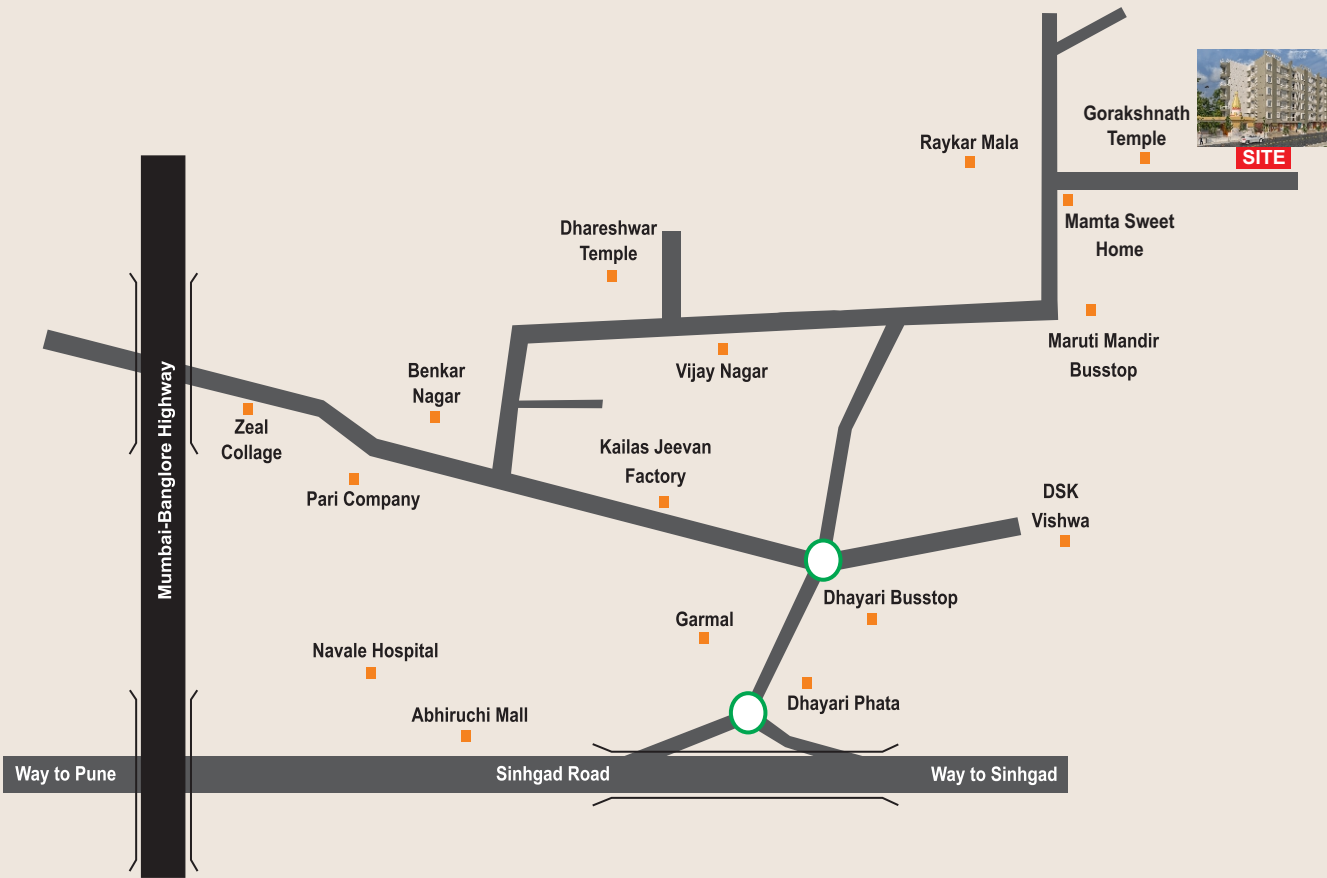


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# LOCATION MAP



## PROXIMITY

	Hospitals	100 Mtr.
	School / Collages	100 Mtr.
	Market	200 Mtr.
	Bus Stand	200 Mtr.
	Temples	1 Km.
	Malls	2 Km.
	Sinhgad Road	2 Km.
	Mumbai Bangalore Highway	3 Km.
	Petrol Pump	3 Km.

A Project by :



Legal Advisor - Adv. Prasad Gunjal  
 Architect - Athom Consultancy  
 R.C.C. Design - Santosh Patil  
 3D & Graphics - Sagar Rawal

For booking and more details please call

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